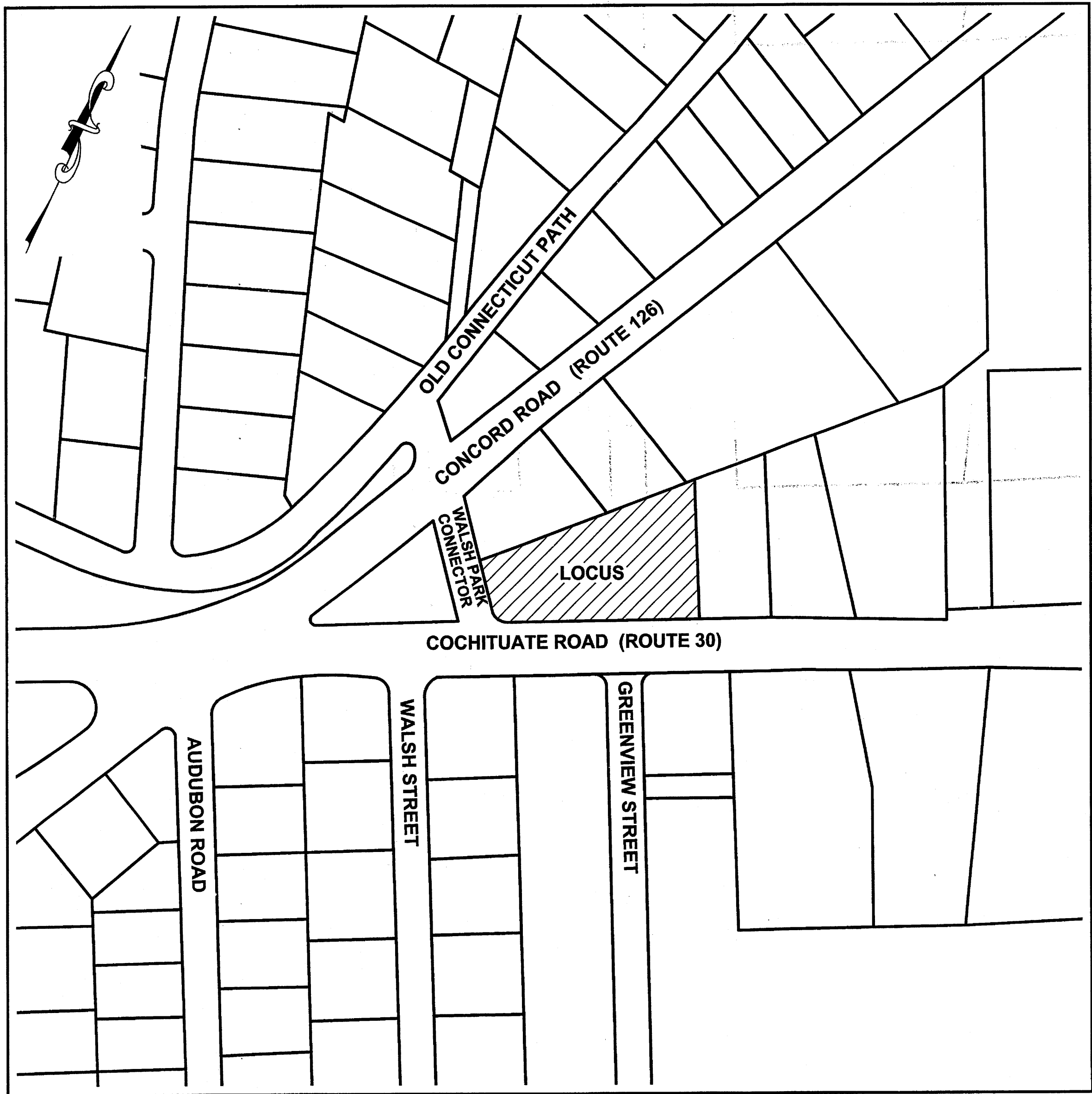


PROPOSED BRANCH BANK
at
222 & 236 COCHITUATE ROAD
in
FRAMINGHAM, MA

SITE PLAN REVIEW
UNDER SECTION IV.1.2.c
FRAMINGHAM PLANNING BOARD:

DATE SIGNED:



LOCUS PLAN

SCALE: 1" = 100'

ZONING INFORMATION

1. ZONING DISTRICT: OFFICE AND PROFESSIONAL
HIGHWAY OVERLAY DISTRICT: REGIONAL CENTER

	REQUIRED:	EXISTING:	EXISTING PRIOR TO HIGHWAY TAKING:	PROPOSED:	PROPOSED PRIOR TO HIGHWAY TAKING:
LOT AREA	6,000 S.F. MIN.	24,527± S.F.	27,007± S.F.	24,527± S.F.	27,007± S.F.
LOT FRONTAGE	50 FT. MIN.	281± FT.	294± FT.	281± FT.	294± FT.
FRONT YARD SETBACK	30 FT. MIN.	12.7 FT.	22.8 FT.	35.8 FT.	43.8 FT.
SIDE YARD SETBACK	15 FT. MIN.	21.8 FT.	21.8 FT.	17.5 FT.	17.5 FT.
BUILDING HEIGHT	3 FL/40 FT. MAX.	2 FL/<40 FT.	2 FL/<40 FT.	2 FL/30 FT.	2 FL/30 FT.
LANDSCAPED OPEN SPACE	20% MIN.	73.6%	67.0%	29.3%	35.6%
FLOOR AREA RATIO	0.32 MAX.	0.7	0.6	0.22	0.19
MAXIMUM BUILDING COVERAGE	20% MAX.	3.5%	3.1%	10.8%	9.8%
PARKING - FRONT PROPERTY LINE SETBACK	15 FT. MIN.	37 FT.	47 FT.	10 FT.	20 FT.
PARKING - SIDE PROPERTY LINE SETBACK	5 FT. MIN.	0 FT.	0 FT.	5 FT.	5 FT.
PARKING - BUILDING LINE SETBACK	10 FT. MIN.	0 FT.	0 FT.	10 FT.	10 FT.

2. LOT AREA PERCENTAGES:	PROPOSED:	PROPOSED PRIOR TO HIGHWAY TAKING:
LOT COVERAGE OF BUILDING	10.8% ±	9.8% ±
PAVED SURFACE COVERAGE	59.9% ±	54.4% ±
LANDSCAPED OPEN SPACE	29.3% ±	35.8% ±
TOTAL:	100%	100%

3. SITE PLAN PROVISIONS:	EXISTING	PROPOSED	INCREASE
GROSS FLOOR AREA	1,700 S.F.	5,313 S.F.	3,615 S.F.
# OF PARKING SPACES	16 SPACES	27 SPACES	11 SPACES

4. PARKING REQUIREMENTS:
BANK=1 SPACE PER 175 S.F. OF GROSS FLOOR AREA; PLUS 1 SPACE PER 250 S.F. OF GROSS FLOOR AREA FOR AREAS NOT DEVOTED TO CUSTOMER SERVICE.

GROSS FLOOR AREA=5,313 S.F.
-TOTAL AREA DEVOTED TO CUSTOMER SERVICE=3,464 S.F.
3,464 S.F. / 175 S.F. = 19.8 CARS
-TOTAL AREA DEVOTED TO NON-CUSTOMER SERVICE=1,733 S.F.
1,733 S.F. / 250 S.F. = 6.93 CARS

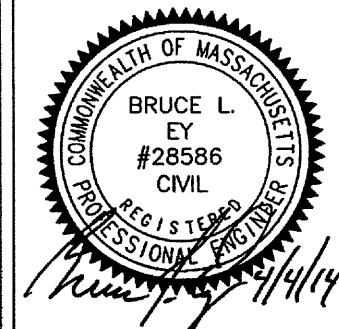
TOTAL=27 CARS REQUIRED
27 CARS PROVIDED

HANDICAPPED ACCESSIBLE PARKING:
MINIMUM REQUIRED PER 521 CMR = 2
PROPOSED = 2

DRAWING LIST

CE-1	COVER SHEET
CE-2	EXISTING CONDITIONS PLAN
CE-3	LAYOUT & UTILITY PLAN
CE-4	GRADING & DRAINAGE PLAN
CE-5	EROSION & SEDIMENTATION CONTROL PLAN & DETAILS
CE-6	DETAIL SHEET #1
CE-7	DETAIL SHEET #2
CE-8	DETAIL SHEET #3

DATE REVISIONS APP'D



RECORD OWNER:
Chalifoux Realty, LLC
277 Linden Street, Suite 209
Wellesley, MA 02482

APPLICANT:
Avidia Bank
42 Main Street
Hudson, MA 01749

PROJECT TITLE:
PROPOSED
BRANCH BANK

PLAN TITLE:
COVER SHEET

DATE: APRIL 4, 2014

SCALE: AS NOTED

DRAWN BY: CHECKED BY: APPROVED BY:
RJM BLE BLE

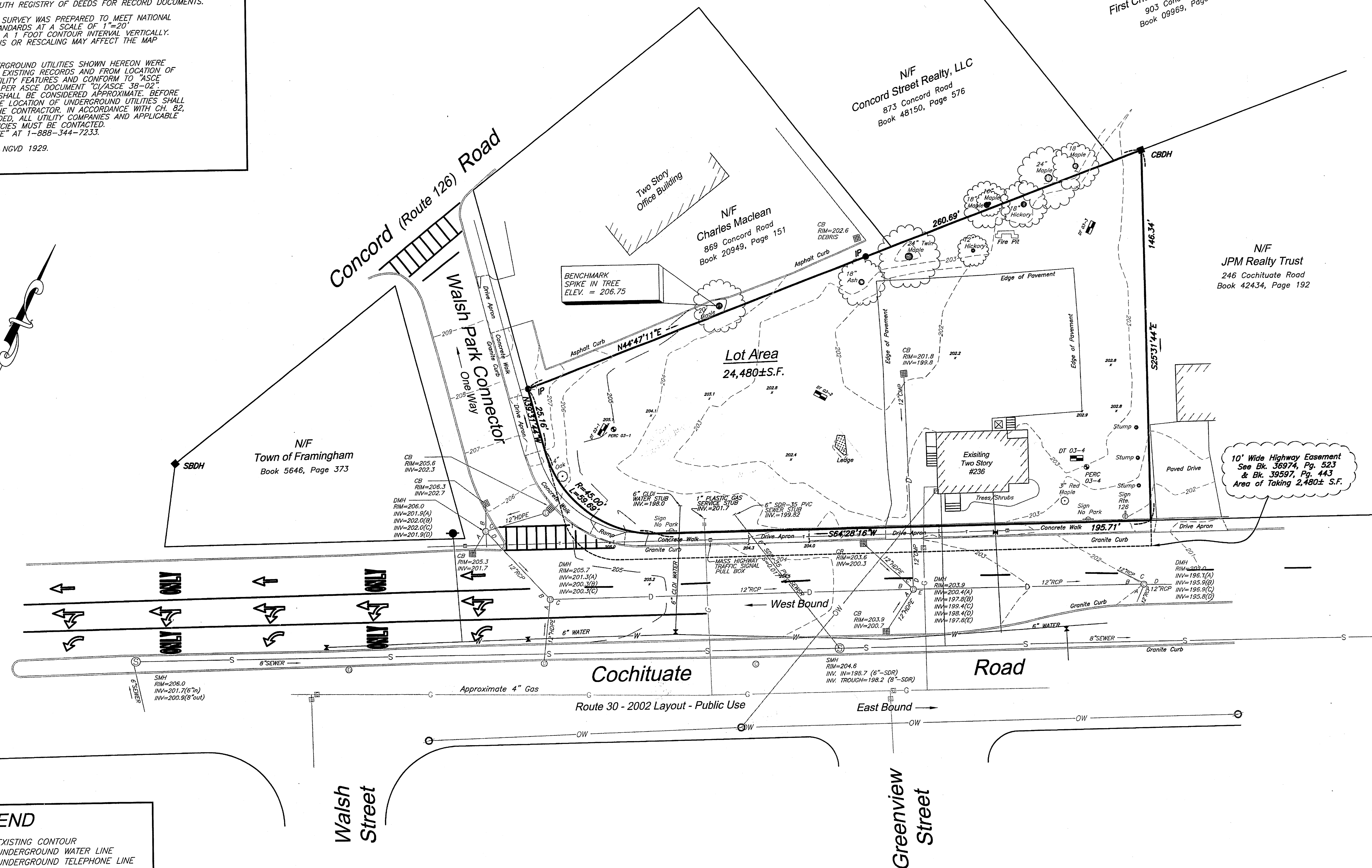
SCHOFIELD BROTHERS
OF NEW ENGLAND, INC.
ENGINEERING SURVEYING PLANNING
1071 WORCESTER ROAD
FRAMINGHAM, MA 01701
TELE: (508) 879-0030 FAX: (508) 879-1797
E-mail: mail@schofieldbros.com
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SHEET:

CE-1

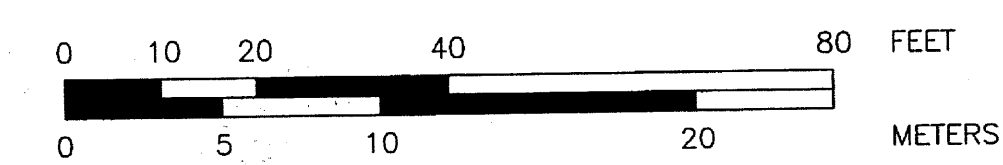
NOTES

- 1.) RECORD OWNER IS CHALIFOUX REALTY, LLC SEE DEED BK 55869 PG. 287.
- 2.) SEE FRAMINGHAM ASSESSORS MAP 347 BLOCK 111 LOTS 7 & 8.
- 3.) PARCEL FALLS WITHIN ZONING DISTRICT OFFICE PROFESSIONAL AND THE REGIONAL CENTER OVERLAY DISTRICT.
- 4.) SEE MIDDLESEX SOUTH REGISTRY OF DEEDS FOR RECORD DOCUMENTS.
- 5.) THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=20' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RESCALING MAY AFFECT THE MAP ACCURACY.
- 6.) LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON WERE DETERMINED FROM EXISTING RECORDS AND FROM LOCATION OF ABOVE GROUND UTILITY FEATURES AND CONFORM TO "ASCE QUALITY LEVEL C" PER ASCE DOCUMENT "CI/ASCE 38-02". LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR, IN ACCORDANCE WITH CH. 82, SEC. 40, AS AMENDED. ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED. CONTACT "DIG-SAFE" AT 1-888-344-7233.
- 7.) ELEVATIONS REFER NGVD 1929.



LEGEND

- 132 --- EXISTING CONTOUR
- W --- UNDERGROUND WATER LINE
- T --- UNDERGROUND TELEPHONE LINE
- D --- UNDERGROUND DRAIN LINE
- S --- UNDERGROUND SEWER LINE
- OW --- OVERHEAD WIRES
- UP --- UTILITY POLE
- CB --- CATCH BASIN
- DMH --- DRAIN MANHOLE
- SMH --- SEWER MANHOLE
- WG --- MASS HIGHWAY PULL BOX
- WG --- WATER GATE
- WG --- HYDRANT
- WG --- SIGN
- LS --- SPOT GRADE
- (F) --- LANDSCAPED AREAS
- FOUND --- FOUND
- IP --- IRON PIPE
- SBDH --- STONE BOUND DRILL HOLE
- CBDH --- CONCRETE BOUND DRILL HOLE



DATE	REVISIONS	APPV'D
RECORD OWNER: Chalifoux Realty, LLC 277 Linden Street, Suite 209 Wellesley, MA 02482		
APPLICANT: Avidia Bank 42 Main Street Hudson, MA 01749		
PROJECT TITLE: PROPOSED BRANCH BANK		
PLAN TITLE: EXISTING CONDITIONS PLAN		
DATE: APRIL 4, 2014 SCALE: 1" = 20' DRAWN BY: KMR CHECKED BY: MEV APPROVED BY: MEV		
SCHOFIELD BROTHERS OF NEW ENGLAND, INC. ENGINEERING SURVEYING PLANNING 1071 WORCESTER ROAD FRAMINGHAM, MA 01701 TEL: (508) 879-0030 FAX: (508) 879-1797 E-mail: mail@schofieldbros.com COPYRIGHT © 2014, BY SCHOFIELD BROTHERS OF NEW ENGLAND, INC.		
SHEET: CE-2		

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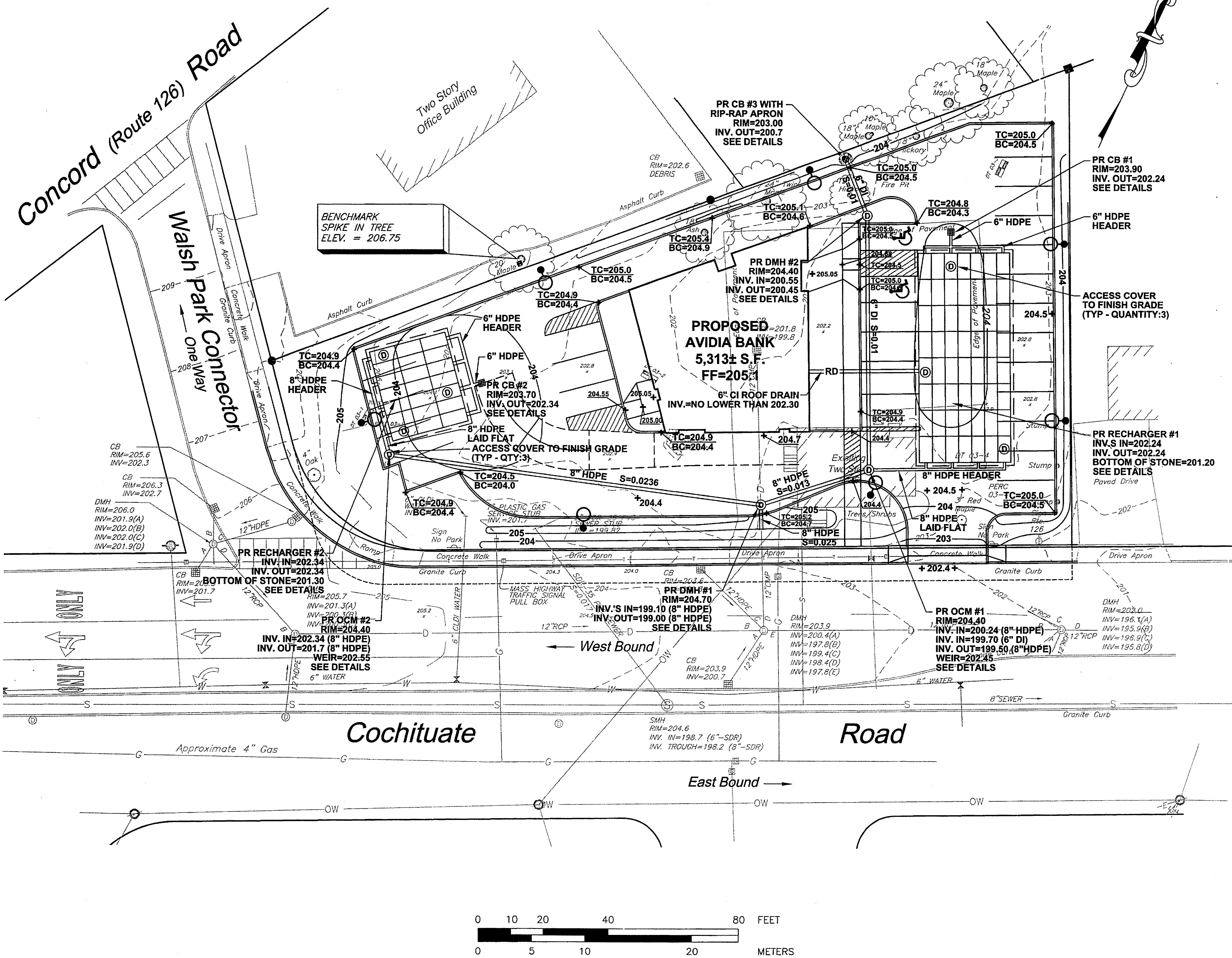
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GENERAL NOTES

- 1.) ALL ACCESSIBLE CURB CUTS SHALL BE CONSTRUCTED TO MEET A.D.A. AND M.A.A.B. REQUIREMENTS.
- AT AREAS OF VERTICAL GRANITE CURB AND TRANSITIONAL VERTICAL GRANITE CURB SHALL BE PROVIDED AS NECESSARY.
- SEE NOTE 4 BELOW.
- 2.) HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 (2 %) IN ANY DIRECTION.
- 3.) WALKWAY GRADES SHALL NOT HAVE SLOPES IN EXCESS OF 1:20 (5%) OR CROSS SLOPES IN EXCESS OF 1:50 (2%), UNLESS OTHERWISE NOTED.
- 4.) WALK GRADIENTS AND CROSS SLOPES SHOWN ON THE GRADING PLANS ARE WITHIN, OR LESS THAN, THE REQUIREMENTS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD'S (MAAB) REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE WORK SO THAT IT IS COMPLIANT WITH ALL REQUIRED REGULATIONS. NOTE THAT THE MAXIMUM GRADIENTS WITHIN THE REGULATIONS DO NOT RECOGNIZE "CONSTRUCTION TOLERANCES." EXCEEDING THE MAXIMUM GRADIENTS IN THE REGULATIONS IS ENTIRELY AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL VERIFY IN WRITING THAT ALL WALKS HAVE BEEN CONSTRUCTED IN COMPLIANCE WITH THE MAAB'S REGULATIONS.
- 5.) IN CASES WHERE LEDGE OR BOULDERS ARE PRESENT, SCHOFIELD BROTHERS OF NEW ENGLAND, INC. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- 6.) ALL INSTALLATION AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST TOWN OF FRAMINGHAM DPW REGULATIONS.
- 7.) SCHOFIELD BROTHERS OF NEW ENGLAND, INC. SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN.
- 8.) WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING DRAINS, THE CONTRACTOR IS TO CONFIRM THE LOCATION AND ELEVATION PRIOR TO THE INSTALLATION OF THE PROPOSED DRAIN SYSTEM AND IS TO NOTIFY THE ENGINEER OF ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION SHOWN.

LEGEND

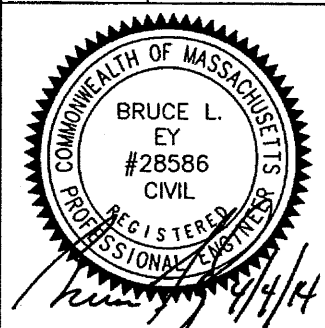
- PROPOSED CATCH BASIN GRATE
PROPOSED DRAIN MANHOLE COVER
PROPOSED SEWER MANHOLE
PROPOSED DRAIN LINE
PROPOSED CONTOUR
PROPOSED SPOT GRADE
HIGH POINT
PROPOSED
DUCTILE IRON
CAST IRON
TOP OF CURB ELEVATION
BOTTOM OF CURB ELEVATION
PIPE SLOPE
TOP OF WALL ELEVATION
PROPOSED CATCH BASIN
PROPOSED DRAIN MANHOLE
PROPOSED OUTLET CONTROL MANHOLE
CURB RADIUS
PROPOSED LIGHT STANDARD



SITE PLAN REVIEW
UNDER SECTION IV.1.2.c
FRAMINGHAM PLANNING BOARD:

DATE SIGNED:

DATE REVISIONS APPV'D



RECORD OWNER:

Chalifoux Realty, LLC
277 Linden Street, Suite 209
Wellesley, MA 02482

APPLICANT:

Avidia Bank
42 Main Street
Hudson, MA 01749

PROJECT TITLE:

PROPOSED
BRANCH BANK

PLAN TITLE:

GRADING & DRAINAGE
PLAN

DATE: APRIL 4, 2014

SCALE: 1"=20'

DRAWN BY: CHECKED BY: APPROVED BY:
RJM BLE BLE

SCHOFIELD BROTHERS
OF NEW ENGLAND, INC.
ENGINEERING SURVEYING PLANNING
1071 WORCESTER ROAD
FRAMINGHAM, MA 01701
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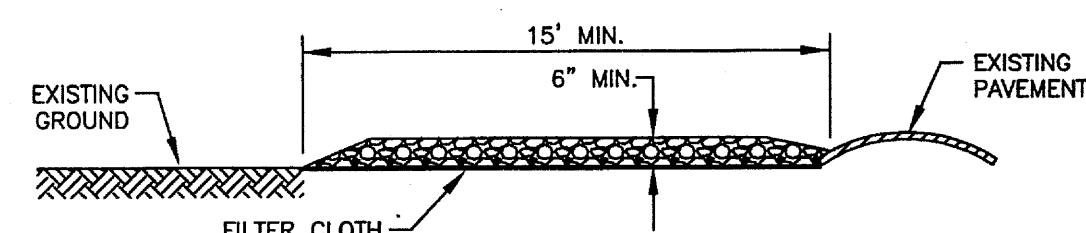
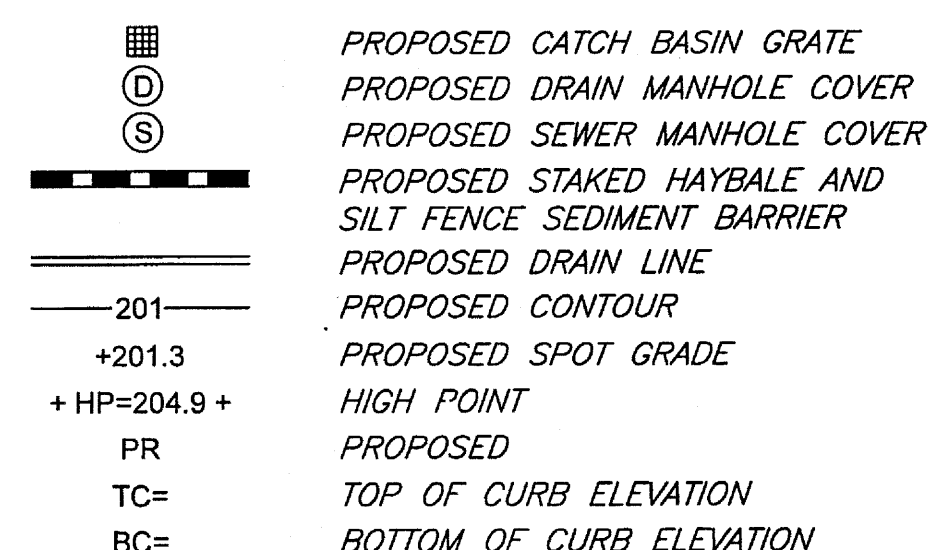
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CE-4

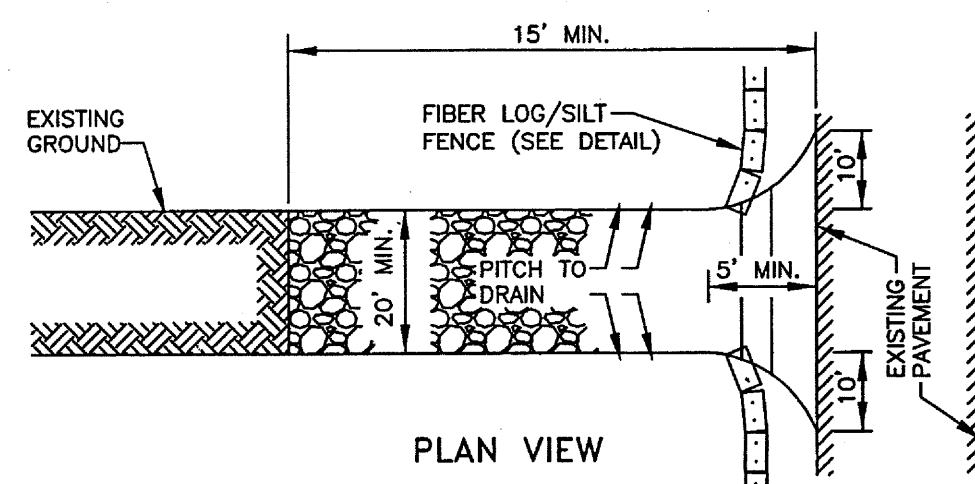
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LEGEND



CROSS-SECTION



PLAN VIEW

CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 3" WASHED, ANGULAR STONE
2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
3. WIDTH - TWENTY (20) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
4. FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

(NO SCALE)

EROSION CONTROL NOTES

THE FOLLOWING ARE GENERAL EROSION CONTROL SPECIFICATIONS TO BE EMPLOYED TO PROTECT THOSE AREAS FROM ALTERATION:

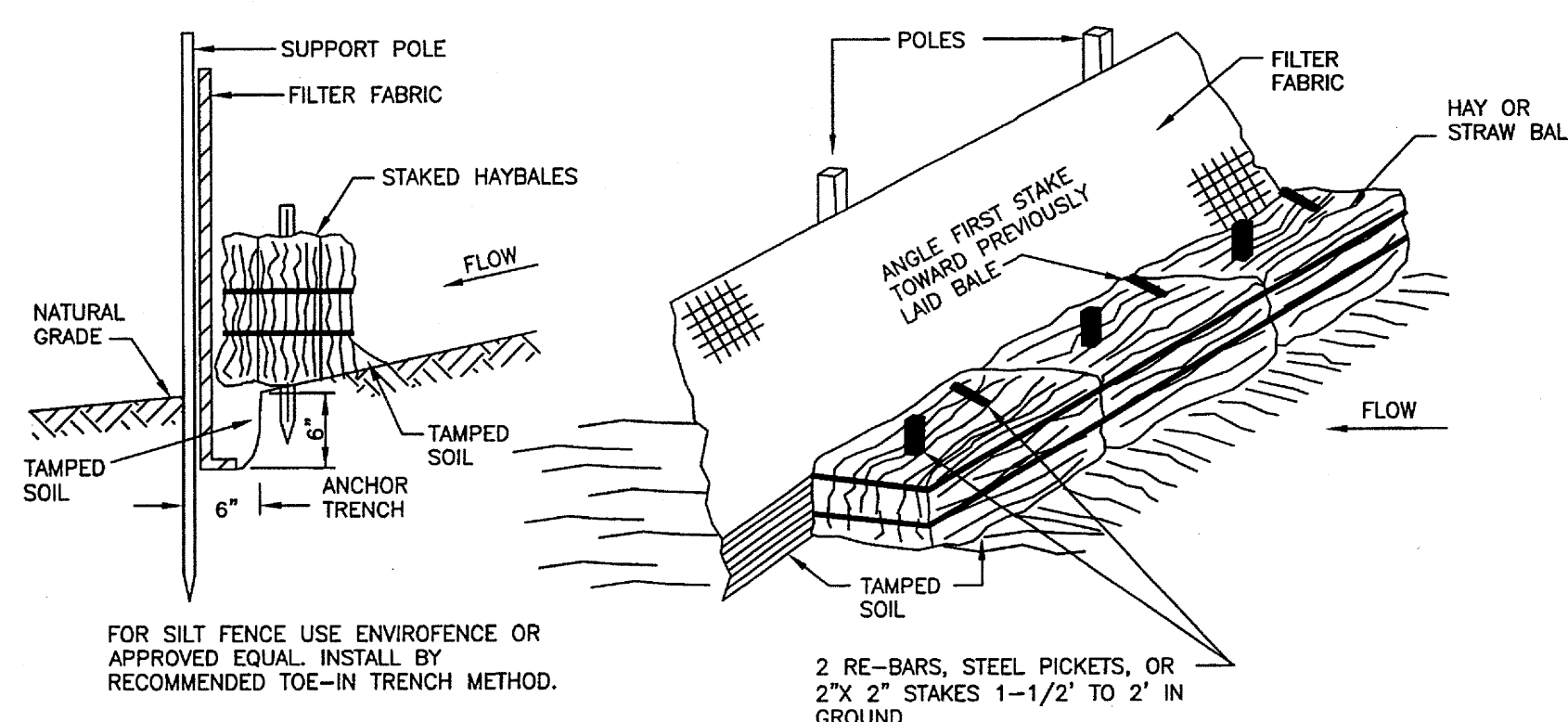
1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE FOR THIS PROJECT, A SILT FENCE SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATION SHOWN ON THE PLAN. IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES THAT RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), HAYBALES SHALL BE STAKED ON THE UPGRADIENT SIDE OF THE FENCE FOR ADDED FILTRATION OF THE RUNOFF AND PROTECTION. SOME OF THESE LOCATIONS ARE SHOWN ON THE PLAN AND OTHER REQUIRED LOCATIONS FOR THE HAYBALE INSTALLATION WILL BE SELECTED BY THE ENGINEER AND OR THE TOWN OF FRAMINGHAM UPON COMPLETION OF THE SILT FENCE INSTALLATION (SEE DETAIL ON THE PLAN).
2. ONCE INSTALLED, THE STAKED HAYBALE & SILT FENCE SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION OF THE PROJECT AND ACCEPTANCE BY THE TOWN OF FRAMINGHAM, THE SILT FENCE AND HAYBALES SHALL BE REMOVED.
3. THE STAKED HAYBALE & SILT FENCE SEDIMENT BARRIERS ARE ALSO INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWNGRADIENT FROM THE BARRIER ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
4. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE NOT PROPOSED SHALL BE LOAMED AND SEEDDED. FOUR INCHES OF LOAM TOPSOIL (MINIMUM) SHALL BE APPLIED AND THE AREA SEEDDED WITH AN UPLAND MIX.
5. ALL AREAS OUTSIDE THE LIMIT OF WORK ARE TO BE LEFT UNDISTURBED. DURING THE SITE WORK, ALL PERSONS AND EQUIPMENT SHALL STAY OUTSIDE OF THESE AREAS TO PRESERVE THE EXISTING VEGETATION.

DEWATERING OF EXCAVATIONS NOTES:

1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO EXISTING DRAIN SYSTEMS. THE DISCHARGES SHALL BE DIRECTED INTO A FILTER BAG SPECIFICALLY DESIGNED FOR DEWATERING.

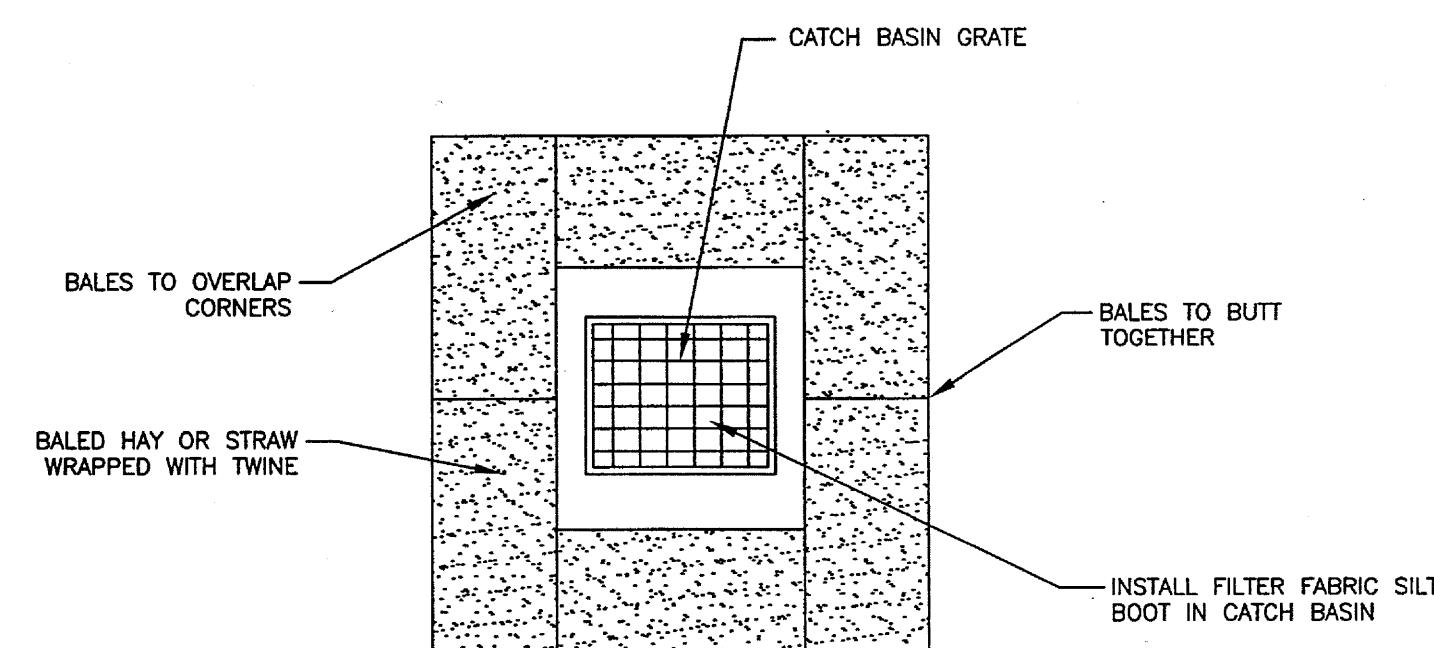
CATCH BASIN PROTECTION:

1. ANY CATCH BASIN THAT RECEIVES RUNOFF FROM THE UNSTABILIZED WORK AREA SHALL BE PROTECTED WITH A "SILT SACK" OR APPROVED EQUAL UNTIL THE TRIBUTARY AREA IS IN A STABILIZED CONDITION.



STAKED HAYBALE AND SILT FENCE SEDIMENT BARRIER DETAIL

(NO SCALE)

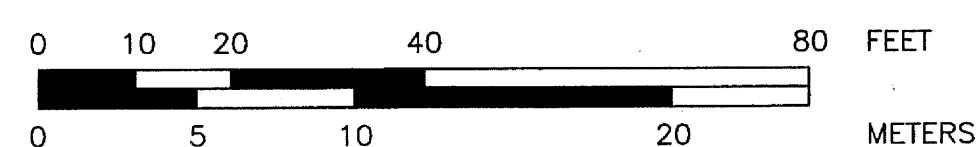
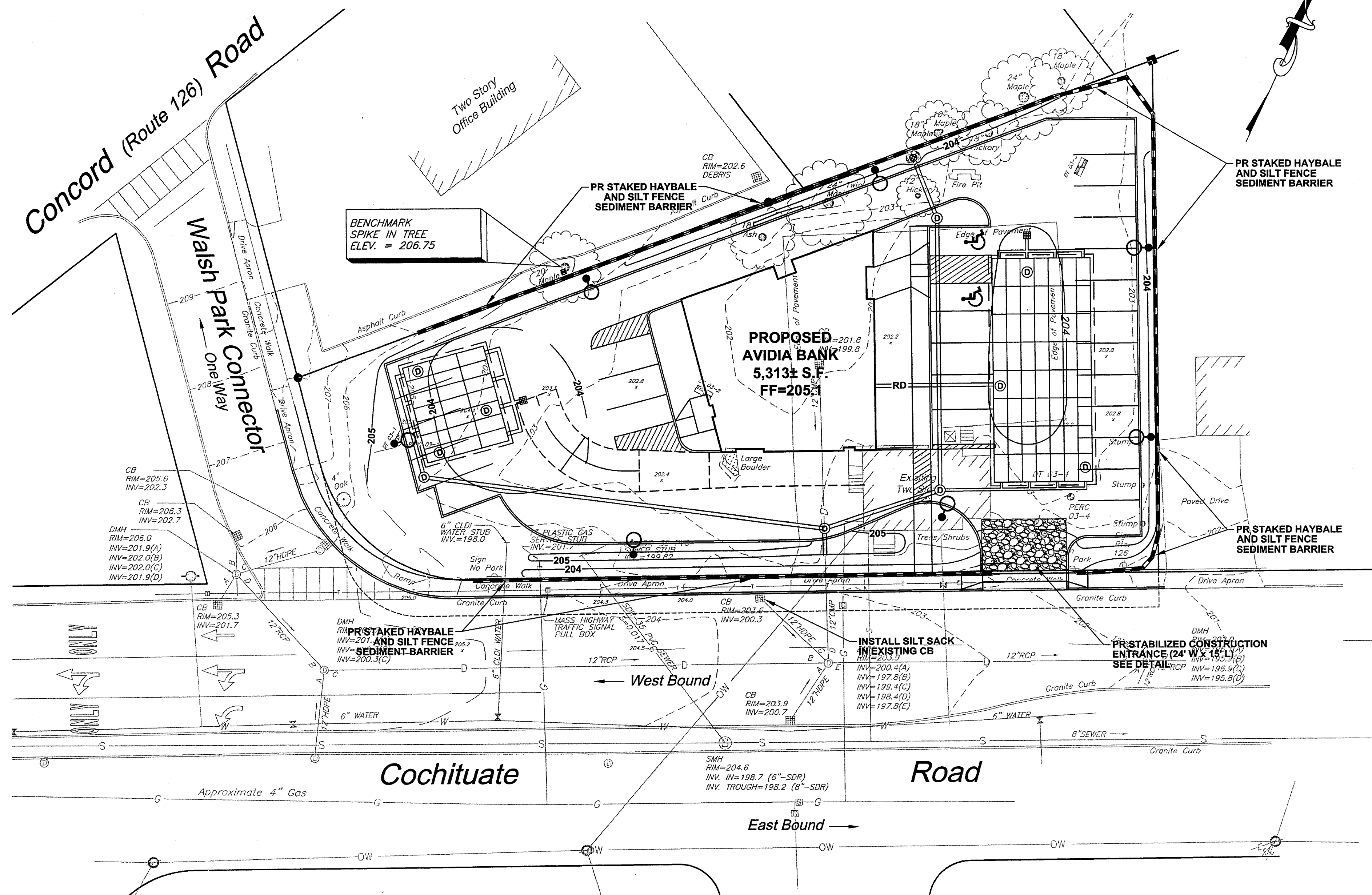


CATCH BASIN INLET PROTECTION DETAIL

(NO SCALE)

NOTE:

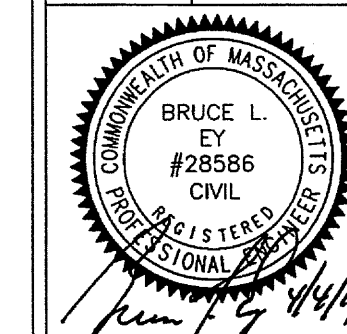
1. SURROUND PARKING LOT DRAINAGE STRUCTURES INLETS WITH HAYBALES PRIOR TO PAVING AND MAINTAIN UNTIL CONSTRUCTION IS COMPLETED. ACCUMULATED SEDIMENTS SHALL BE REMOVED.
2. HAYBALES PLACED ON PAVEMENT SHALL HAVE BURLAP PLACED BETWEEN PAVEMENT AND HAYBALE. HAYBALES IN NON-PAVED AREAS SHALL BE STAKED IN PLACE.



24565

SITE PLAN REVIEW
UNDER SECTION IV.1.2.c
FRAMINGHAM PLANNING BOARD:

DATE SIGNED: _____

[illegible]

RECORD OWNER:

*Chalifoux Realty, LLC
277 Linden Street, Suite 209
Wellesley, MA 02482*

APPLICANT:

*Avidia Bank
42 Main Street
Hudson, MA 01749*

PROJECT TITLE:

*PROPOSED
BRANCH BANK*

PLAN TITLE:

EROSION & SEDIMENTATION CONTROL PLAN & DETAILS

DATE: APRIL 4, 2014

SCALE: 1"=20'

65/4	DRAWN BY: B.J.M.	CHECKED BY: B.I.F.	APPROVED BY: B.I.F.
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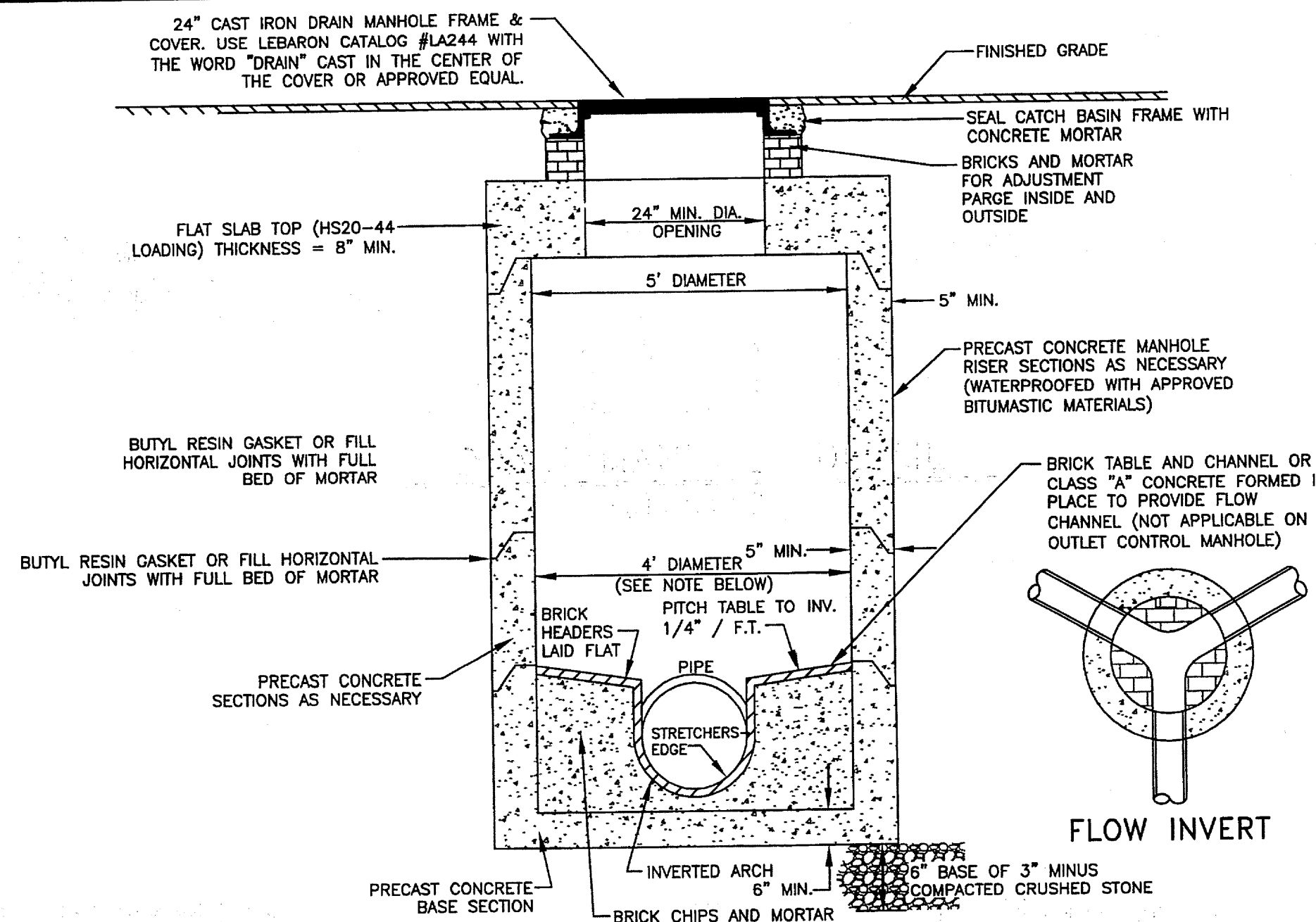
 **SCHOFIELD BROTHERS
OF NEW ENGLAND, INC.**

ENGINEERING SURVEYING PLANNING
1071 WORCESTER ROAD
FRAMINGHAM, MA 01701

TELE: (508) 879-0030 FAX: (508) 879-1797

SHEET:

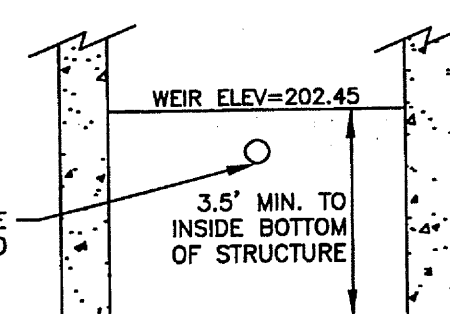
CE-5



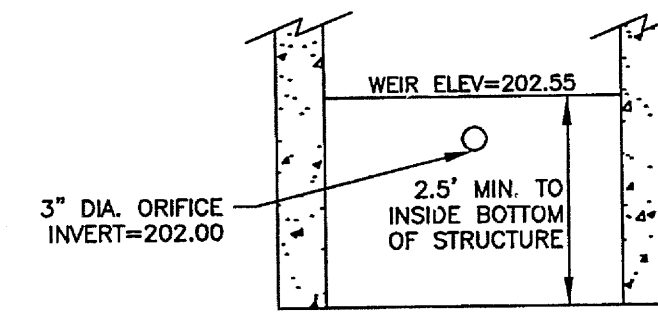
- NOTES:
1. USE 5 FT. DIAMETER (OR LARGER WHERE NECESSARY) WHEN TOTAL INSIDE DEPTH EXCEEDS 12 FT. OR WHERE PIPE ARRANGEMENT WILL DAMAGE THE INTEGRITY OF THE MANHOLE SECTIONS.
 2. MANHOLE CONNECTION TO PIPE SHALL BE BY MEANS OF A FLEXIBLE RUBBER SLEEVE OR MORTAR. PROJECT PIPE 1" TO 3" INTO MANHOLE.

DRAIN MANHOLE DETAIL
(NO SCALE)

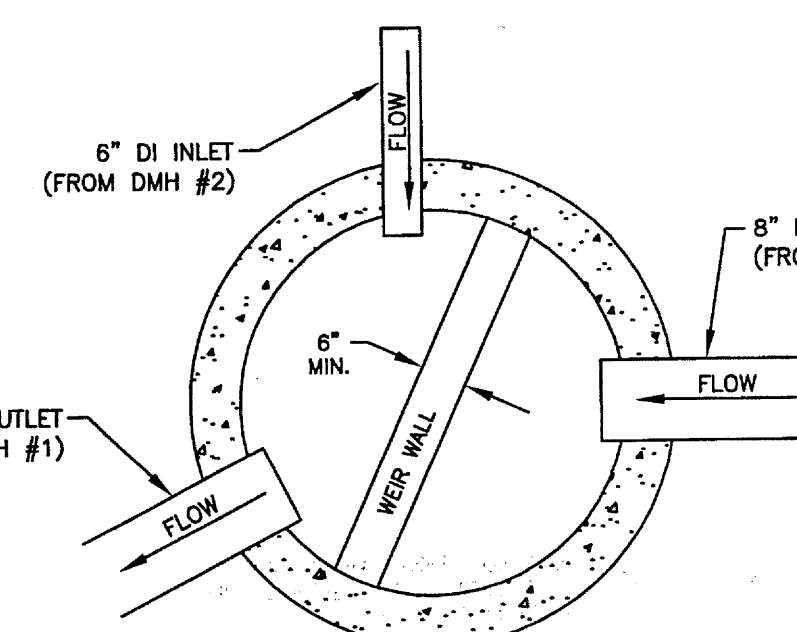
TYPICAL DRAIN PIPE BEDDING DETAIL
(NO SCALE)



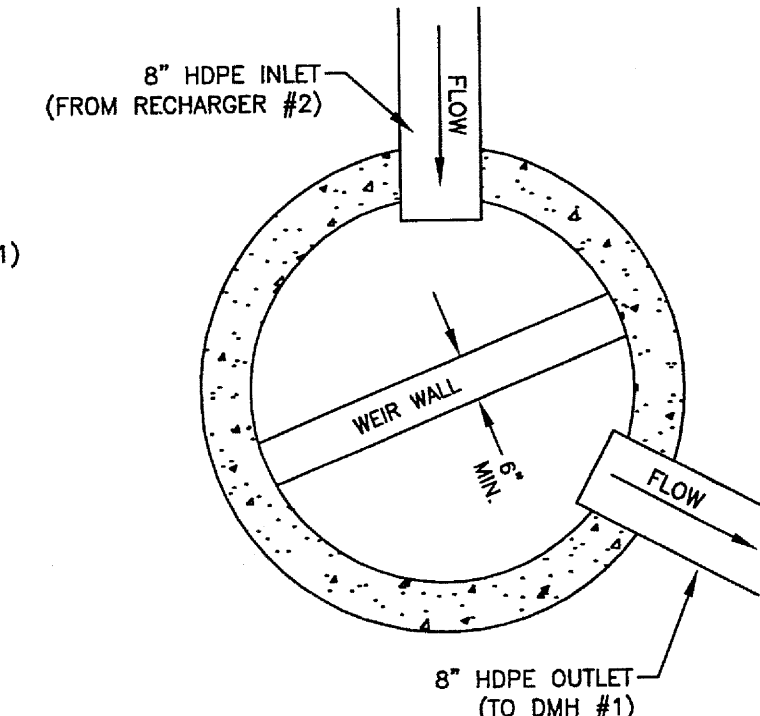
**OCM #1 (EAST)
WEIR WALL DETAIL**



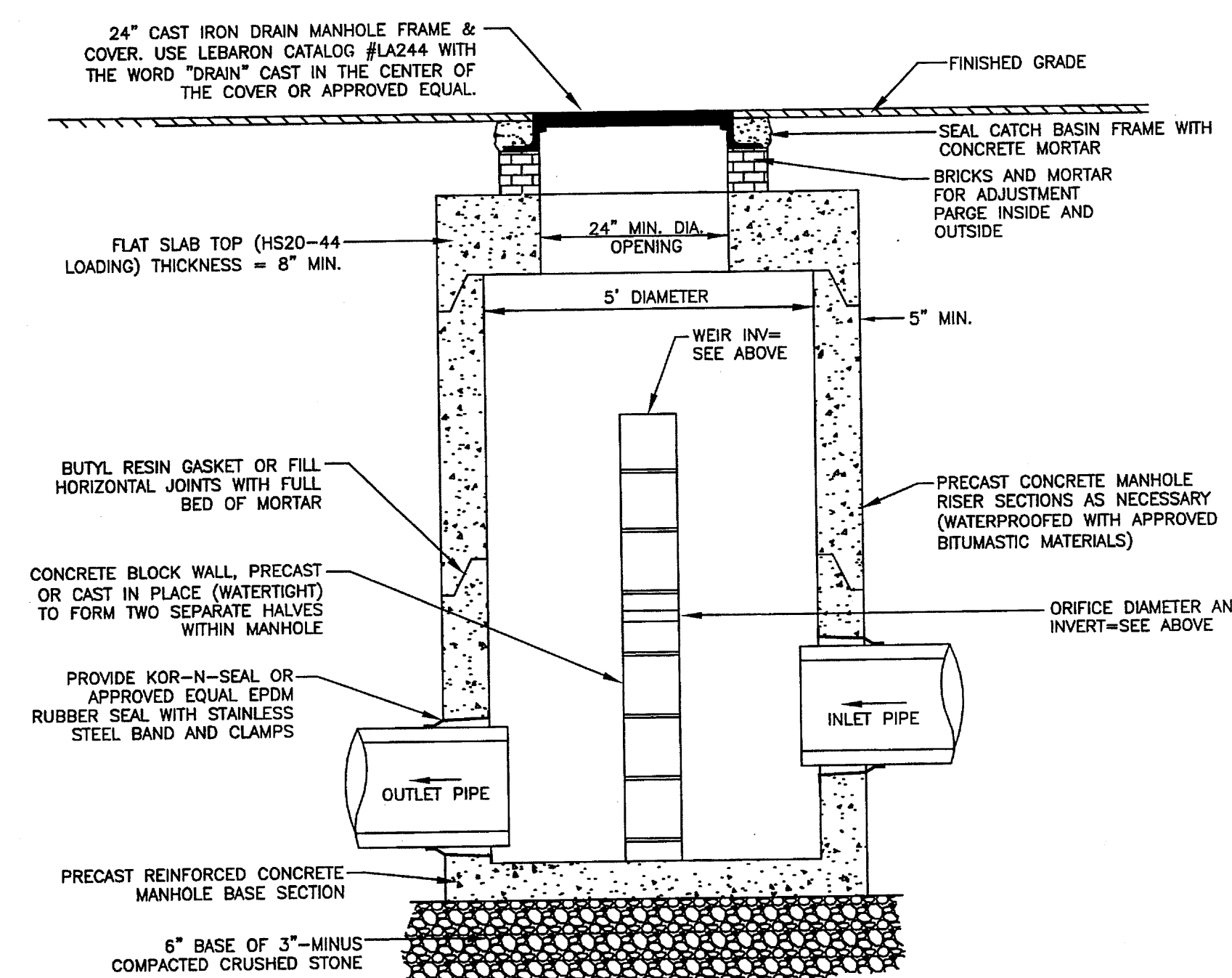
**OCM #2 (WEST)
WEIR WALL DETAIL**



**OCM #1 (EAST)
PLAN VIEW**



**OCM #2 (WEST)
PLAN VIEW**



OUTLET CONTROL STRUCTURE DETAIL
(NO SCALE)

DEEP OBSERVATION HOLE #03-1 LOG

DATE: 12/22/03

DEPTH FROM SURFACE	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR	SOIL MOTTLING	OTHER (STRUCTURE, STONES, BOULDERS, CONSISTENCY, % GRAVEL)
0 - 8"	A	Sandy Loam	10YR 3/3	None Observed	M-F, few stones
8 - 16"	Bw	Sandy Loam	10YR 5/6	None Observed	M-F, some stones
16 - 36"	C1	Sand	10YR 5/4	None Observed	Med. to Coarse sand w/ few stones
36 - 90"	C2	Sandy Loam	2.5Y 5/4	>5% @ 36" 5YR 5/6	M-F, gravelly till w/ pockets of silts and clays

SURFACE ELEVATION: 205.1
PARENT MATERIAL (GEOLOGICAL): Glacial Till
DEPTH TO GROUNDWATER: 36"
WEIRING FROM PIT FACE: 36"
MONITOR WELL ELEVATION: 205.1
MONITOR WELL READING: 205.1
DATE: 12/22/03
GROUNDWATER ADJUSTMENT FACTOR: 1.0
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 205.1 by soil morphology

DEEP OBSERVATION HOLE #03-2 LOG

DATE: 12/22/03

DEPTH FROM SURFACE	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR	SOIL MOTTLING	OTHER (STRUCTURE, STONES, BOULDERS, CONSISTENCY, % GRAVEL)
0 - 8"	A	Sandy Loam	10YR 3/3	None Observed	M-F, few stones
8 - 16"	Bw	Sandy Loam	10YR 5/6	None Observed	M-F, some stones
16 - 84"	C	Sandy Loam	2.5Y 5/4	>5% @ 30" 5YR 5/6	M-F, gravelly till w/ pockets of silts and clays

SURFACE ELEVATION: 202.2
PARENT MATERIAL (GEOLOGICAL): Glacial Till
DEPTH TO GROUNDWATER: 84"
WEIRING FROM PIT FACE: 30"
MONITOR WELL ELEVATION: 202.2
MONITOR WELL READING: 202.2
DATE: 12/22/03
GROUNDWATER ADJUSTMENT FACTOR: 1.0
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 202.2 by soil morphology

DEEP OBSERVATION HOLE #03-3 LOG

DATE: 12/22/03

DEPTH FROM SURFACE	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR	SOIL MOTTLING	OTHER (STRUCTURE, STONES, BOULDERS, CONSISTENCY, % GRAVEL)
0 - 8"	A	Sandy Loam	10YR 3/3	None Observed	M-F, few stones
8 - 16"	Bw	Sandy Loam	10YR 5/6	None Observed	M-F, some stones
16 - 84"	C	Sandy Loam	2.5Y 5/4	>5% @ 30" 5YR 5/6	M-F, gravelly till w/ pockets of silts and clays
84"	R	Refusal			Ledge/Boulders

SURFACE ELEVATION: 202.8
PARENT MATERIAL (GEOLOGICAL): Glacial Till
DEPTH TO GROUNDWATER: 84"
WEIRING FROM PIT FACE: 30"
MONITOR WELL ELEVATION: 202.8
MONITOR WELL READING: 202.8
DATE: 12/22/03
GROUNDWATER ADJUSTMENT FACTOR: 1.0
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 202.8 by soil morphology

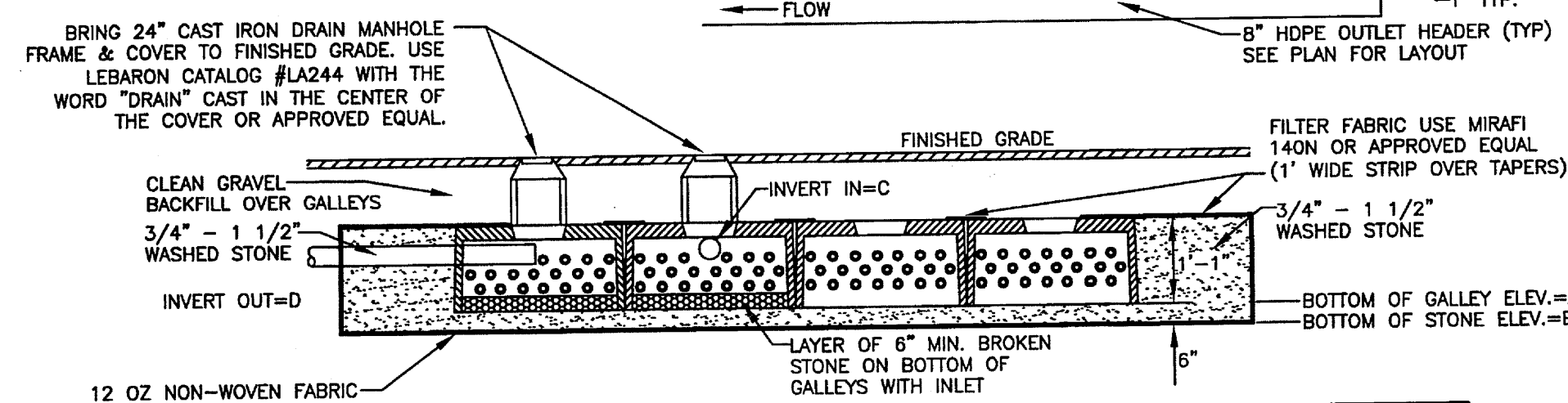
DEEP OBSERVATION HOLE #03-4 LOG

DATE: 12/22/03

DEPTH FROM SURFACE	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR	SOIL MOTTLING	OTHER (STRUCTURE, STONES, BOULDERS, CONSISTENCY, % GRAVEL)
0 - 24"	Fill				
24 - 28"	Ab	Sandy Loam	10YR 3/2	None Observed	M-F, some stones
28 - 36"	Bw	Sandy Loam	10YR 5/6	None Observed	M-F, some stones
36 - 120"	C	Sandy Loam	2.5Y 5/4	>5% @ 36" 2.5YR 4/6	M-F, gravelly till w/ pockets of silts and clays

SURFACE ELEVATION: 202.9
PARENT MATERIAL (GEOLOGICAL): Glacial Till
DEPTH TO GROUNDWATER: 120"
WEIRING FROM PIT FACE: 46"
MONITOR WELL ELEVATION: 202.9
MONITOR WELL READING: 202.9
DATE: 12/22/03
GROUNDWATER ADJUSTMENT FACTOR: 1.0
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 202.9 by soil morphology

PERCOLATION TEST DATA							
TEST PIT NO.	DATE	SURFACE ELEVATION	TOP OF 12" OF WATER		INTERVAL TIME (MINUTES)		RATE: MINUTES PER INCH
			DEPTH FROM TOP OF PIT	ELEVATION	12" - 9"	9" - 6"	
03-1	12/22/03	204.6	28"	202.3	21	28	10 mpi
03-4	12/22/03	202.3	38"	199.1	—	—	21 mpi



INVERTS				
RECHARGER	A	B	C	D
1 (EAST)	201.70	201.20	202.24	202.24
2 (WEST)	201.80	201.30	202.34	202.34

GENERAL NOTES:

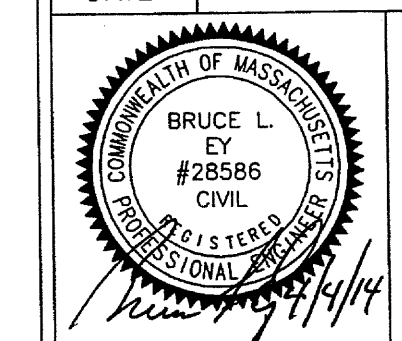
1. ALL TOPSOIL, SUBSOIL AND DELETERIOUS MATERIAL, IF ANY, MUST BE EXCAVATED AND REMOVED BELOW THE TOP ELEVATION OF RECHARGER #1, AND TO A DISTANCE OF 5 FEET FROM ALL SIDES OF THE LEACHING GALLEY. EXCAVATE DOWN TO 6 INCHES BELOW THE SURFACE OF THE NATURAL PERMEABLE SOIL. BACKFILL AS REQUIRED WITH CLEAN GRAVEL OR SANDFILL MATERIAL, FREE FROM FINES, CLAY, ORGANIC MATTER, AND LARGE BOULDERS, MEETING TITLE 5 SAND FILL SPECIFICATION 310 CMR 15.255.
2. ALL WASHED STONE MUST HAVE LESS THAN 0.2 PERCENT MATERIAL FINER THAN A NUMBER 200 SIEVE AS DETERMINED BY THE A.A.S.H.T.O. TEST METHODS T-11 AND T-27 (LATEST EDITION).
3. COVER CHAMBERS AND STONE WITH MIRAFI BXG 11 GEODRID OR APPROVED EQUAL. EXTEND BEYOND CHAMBERS A MINIMUM OF 5 FEET OR TO THE FACE OF THE CURB. GEODRID TO BE PLACED IN THE MIDDLE OF THE DENSE GRADED CRUSHED STONE BASE GRAVEL FOR BOTH RECHARGER #1 AND #2.

RECHARGERS #1 AND #2 DETAIL
(NO SCALE)

SITE PLAN REVIEW
UNDER SECTION IV.1.2.c
FRAMINGHAM PLANNING BOARD:

DATE SIGNED: _____

DATE REVISIONS APPV'D



RECORD OWNER:

Chalfoux Realty, LLC
277 Linden Street, Suite 209
Wellesley, MA 02482

APPLICANT:

Avidia Bank
42 Main Street
Hudson, MA 01749

PROJECT TITLE:

**PROPOSED
BRANCH BANK**

PLAN TITLE:

DETAIL SHEET #1

DATE: APRIL 4, 2014

SCALE: AS NOTED

DRAWN BY: RJM CHECKED BY: BLE APPROVED BY: BLE

**SCHOFIELD BROTHERS
OF NEW ENGLAND, INC.**
1071 WORCESTER ROAD
FRAMINGHAM, MA 01701
TEL: (508) 879-0030 FAX: (508) 879-1797
E-mail: mail@schofieldbro.com

ENGINEERING SURVEYING PLANNING
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SHEET:

CE-6

LEGEND

(SEE EXISTING CONDITIONS PLAN FOR
EXISTING CONDITIONS SYMBOLS AND ABBREVIATIONS)

FOR STORMWATER MANAGEMENT FEATURES

WATERSHED BOUNDARY

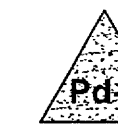
Segment 1  FLOW PATH



EXISTING CONDITIONS SUBCATCHMENT DESIGNATION



DESIGN POINT DESIGNATION

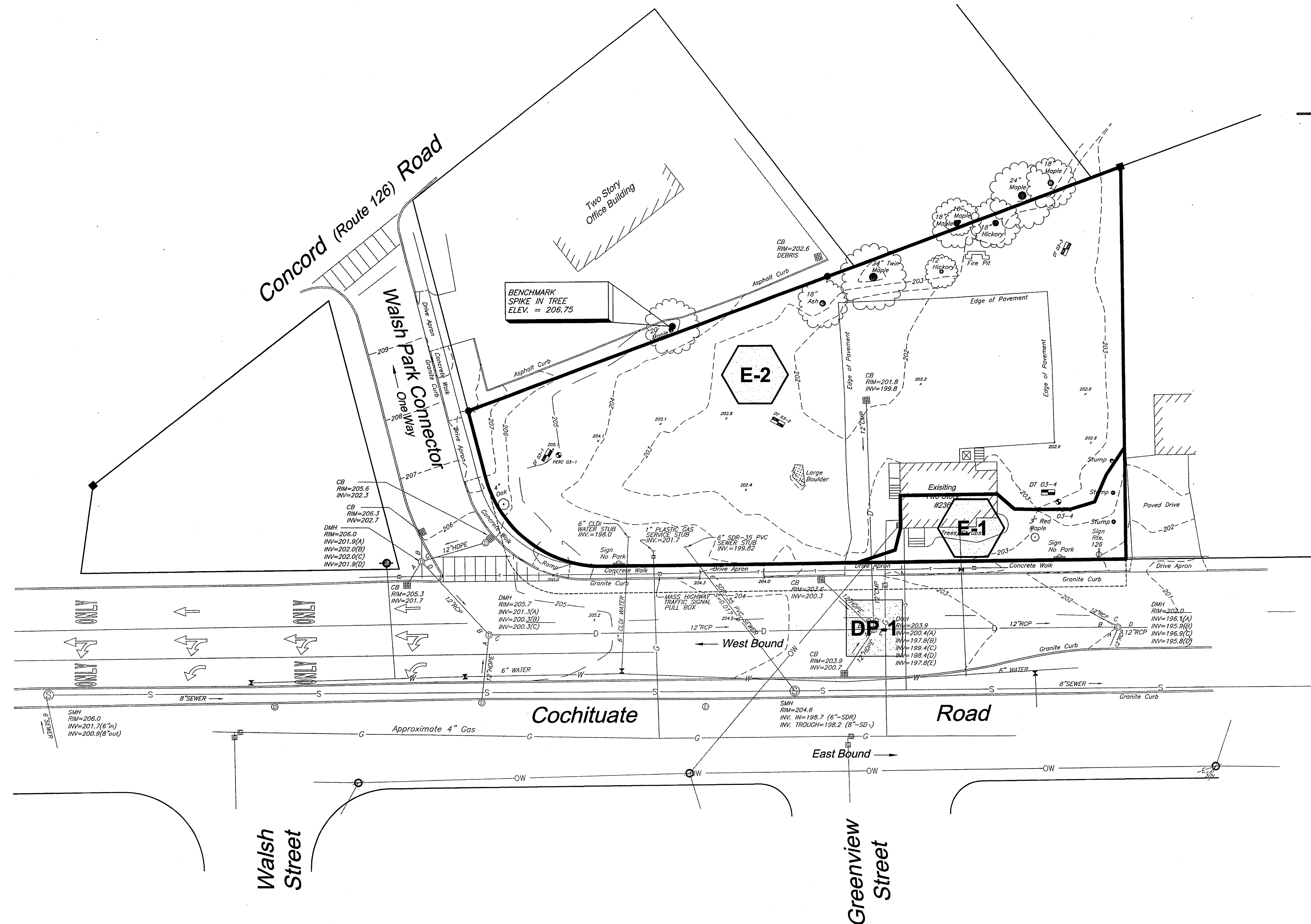
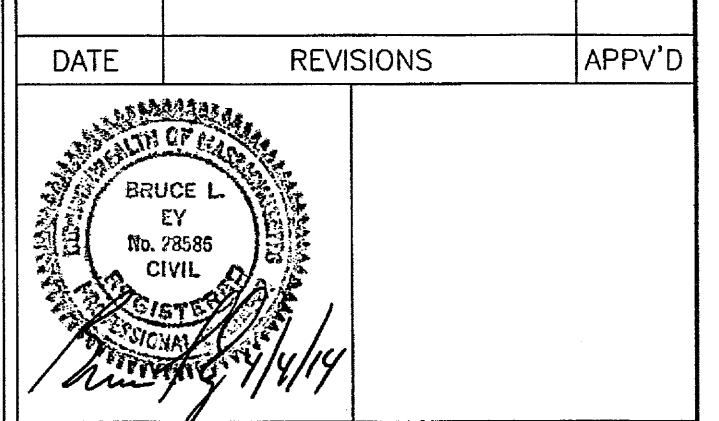


POND

15.00

NRCS SOIL BOUNDARY LINE

15.00

[illegible]

RECORD OWNER:

*Chalifoux Realty, LLC
277 Linden Street, Suite 209
Wellesley, MA 02482*

APPLICANT:

*Avidia Bank
42 Main Street
Hudson, MA 01749*

PROJECT TITLE:

*PROPOSED
BRANCH BANK*


PLAN TITLE:

*EXISTING
WATERSHED MAP*

DATE: APRIL 4, 2014

SCALE: 1" = 20'

DRAWN BY: RJM	CHECKED BY: BLE	APPROVED BY: BLE
------------------	--------------------	---------------------

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ENGINEERING SURVEYING PLANNING

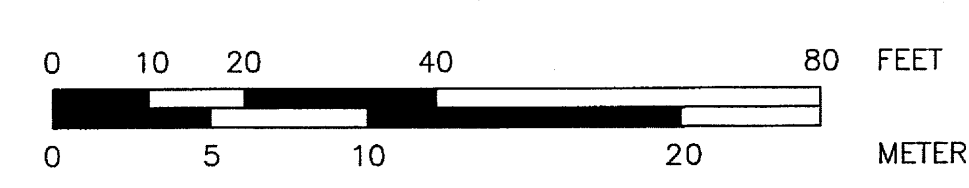
1071 WORCESTER ROAD
FRAMINGHAM, MA 01701

TELE: (508) 879-0030 FAX: (508) 879-1797
E-mail: mail@schofieldbros.com

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SHEET:

WS-EX




LEGEND

(SEE EXISTING CONDITIONS PLAN FOR
EXISTING CONDITIONS SYMBOLS AND ABBREVIATIONS)

FOR STORMWATER MANAGEMENT FEATURES

 WATERSHED BOUNDARY

Segment 1  FLOW PATH

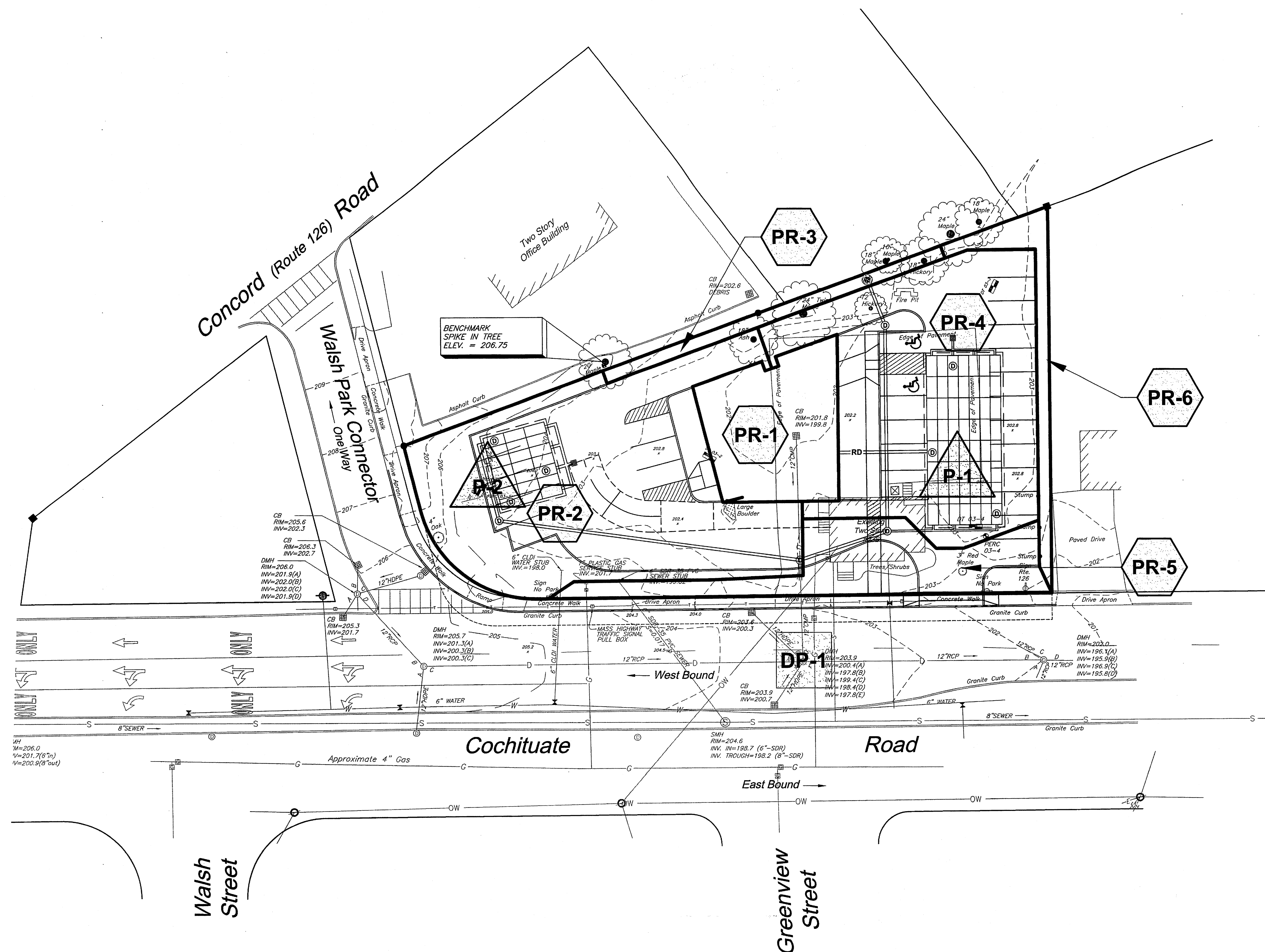
EXISTING CONDITIONS SUBCATCHMENT DESIGNATION

DP-1

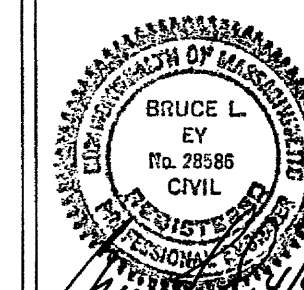
DESIGN POINT DESIGNATION

POND

- NRCS SOIL BOUNDARY LINE



DATE	REVISIONS	APPV'D
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RECORD OWNER:

*Chalifoux Realty, LLC
277 Linden Street, Suite 209
Wellesley, MA 02482*

APPLICANT:

*Avidia Bank
42 Main Street
Hudson, MA 01749*

PROJECT TITLE:

*PROPOSED
BRANCH BANK*


PLAN TITLE:	
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*PROPOSED
WATERSHED MAP*

DATE: APRIL 4, 2014

SCALE: 1" = 20'

71000	DRAWN BY: RJM	CHECKED BY: BLE	APPROVED BY: BLE
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**SCHOFIELD BROTHERS
OF NEW ENGLAND, INC.**

ENGINEERING SURVEYING PLANNING

1071 WORCESTER ROAD
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SHEET:

WS-PR

24565

3. | SOSVBB01 | 21019 | dwn | Sept | 21555 | 4-4-14 | 24565-WS-MAPS dwn